

The Nymboida

Enzo Haven



Complete Turn-key Package



Dwelling Size

Overall width 11.005m²
Overall length 14.550m²



Home areas dwelling A

Living 137.3m²
Garage 24.7m²
Alfresco areas 13.4m²



Home areas dwelling B

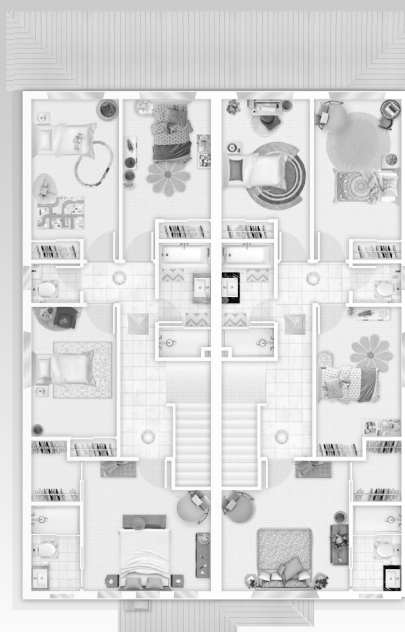
Living 137.3m²
Garage 24.7m²
Alfresco areas 12.8m²

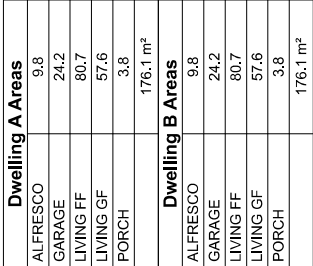


Total 350.2m²

- ✓ All site costs covered
- ✓ Reconstituted stone benchtops
- ✓ Security screen door
- ✓ LED downlights throughout
- ✓ Front feature door
- ✓ Slimline water tank
- ✓ LED ceiling light fans in all bedrooms
- ✓ Ducted air conditioning
- ✓ Soft-close kitchen drawers and cabinets
- ✓ Fully fenced yard with driveway
- ✓ Alfresco under main roof

*All included with your
Thomas Paul Home*





Dwelling A Areas		176.1 m²
ALFRESCO	9.8	
GARAGE	24.2	
LIVING FF	80.7	
LIVING GF	57.6	
PORCH	3.8	
Dwelling B Areas		176.1 m²
ALFRESCO	9.8	
GARAGE	24.2	
LIVING FF	80.7	
LIVING GF	57.6	
PORCH	3.8	

Total Floor Areas
352.2
Dwelling A Roof Area Total
Area 122.4
Dwelling B Roof Area Total

Energy Efficiency:
Dwelling and all its components to comply with NCC Part 13 and the Environmental Planning and Assessment Regulation 2000 (EP&A Regulation) and State Environment Planning Policy (Building Sustainability Index: BASIX) 2004 (the BASIX SEPP)

Artificial Lighting:
Provide artificial lighting to Sanitary Compartments to comply with NCC 10.5.2 & AS/NZS 1680.0

Roof & Cladding Notes:

- To comply as per NCC Part H1D7 (2) & (3)

Windows & Glazing:

- All windows to comply with NCC 8.4.8 Safety Glass

• Glazing Visibility to comply with NCC 8.4.7

Wet Areas:
To bathrooms floor & walls comply with NCC 10.2.1

Ducted Air Conditioning
Final location & sizes of units, outlets and return air grille to be determined by supplier / installer.
Roof truss strengthening and void in trusses required for A/C system in roof space.

Fixing Legend

- **Towel Rail**
- **Toilet Roll**
- **Towel Ring**

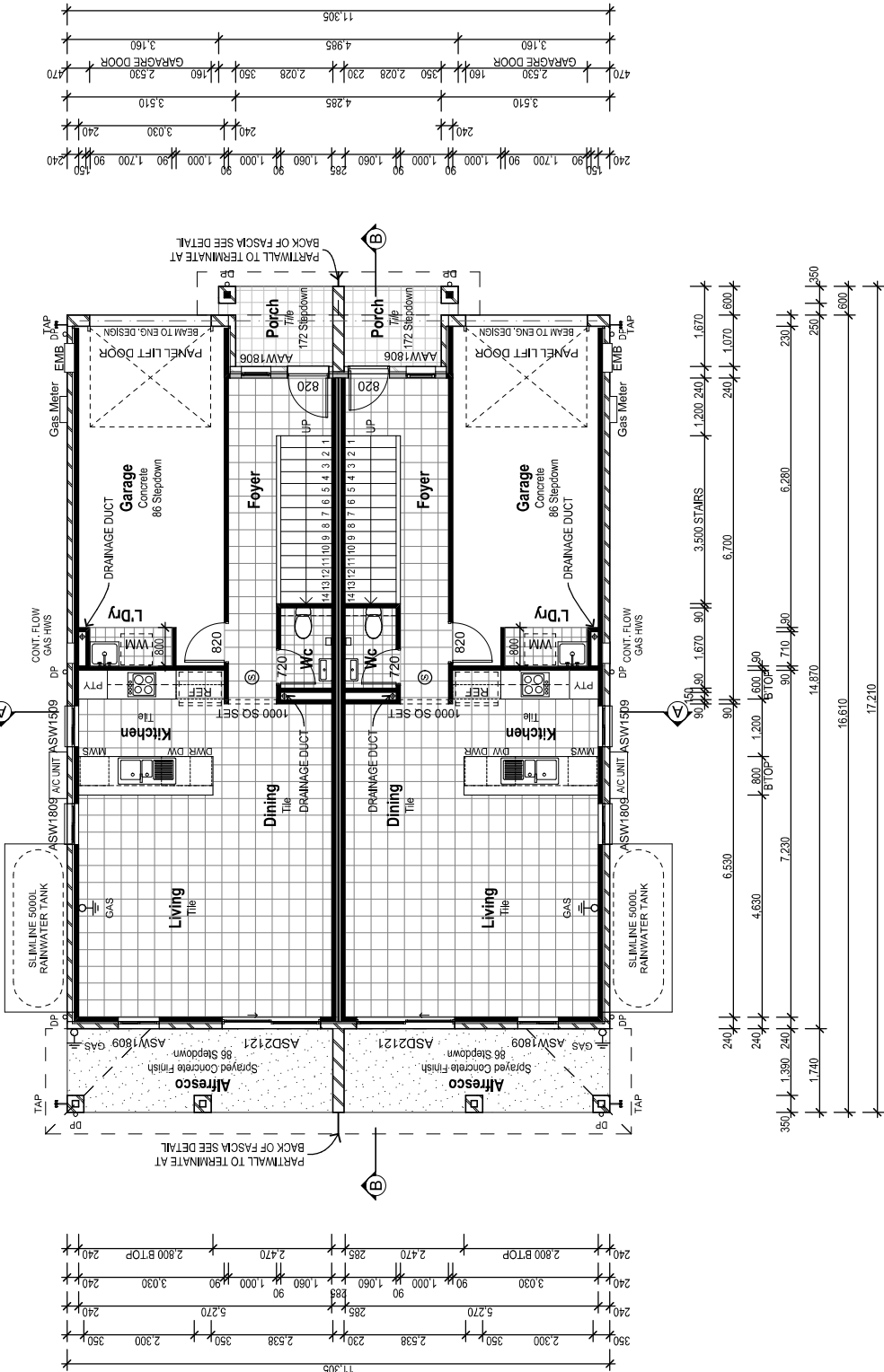
GAS TO HWS, Cooktop, BBQ & Heater Points

Garage insulation requirements differ

- **Insulation to internal walls.**
- **No insulation to ceiling,**
- **No insulation to external walls,**

Notes:
• M/M/C = M/M/1 with C servers

- **NWVS** = microwave space
- 4 shelves to **linen cupboard**
- **Shelf** at 1700 and **rail** to **all built in robes**
- Weather strips to **all external doors**
- Final kitchen layout to **manufacturer's**

Ground Floor Plan
1:100

GENERAL NOTES:

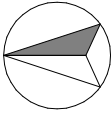
These drawings are to be read in conjunction with the relevant **main contract**. The contract is to take precedence over these drawings in **any** conflict.

All **work** shall include but not be limited to: finishes, inclusions, upgrades, exclusions, additional costs and works by the owner/builder. Incorrect inclusions or omissions of typographical errors are not to be used in the interpretation of any information in these drawings. Nor can they be used to claim any additional or alternate items or services as a result of such errors. The incorrect or omitted details shall be subject to subsequent correction by the building company and the documentation revised.

Issue	Date	Amendments	By
A	22/10/2024	MASTER PLANS	P/A

Client:	THOMAS PAUL CONSTRUCTIONS PTY LTD
Design:	Nymboda
Facility:	ENZO / HAVEN
Plot Date:	6/02/2025
Scale:	1:100 @ A3
Printed by:	paulw
LGA:	???

Location: Lot 000, Street Suburb, NSW 0000	Project: PROPOSED DUAL OCCUPANCY
	GROUND FLOOR PLAN
DP: 000000	Job No: #####
	Sheet #: 4



Dwelling A Areas	
ALFRESCO	9.8
GARAGE	24.2
LIVING FF	80.7
LIVING GF	57.6
PORCH	3.8
	176.1 m²
Dwelling B Areas	
ALFRESCO	9.8
GARAGE	24.2
LIVING FF	80.7
LIVING GF	57.6
PORCH	3.8
	176.1 m²

Total Floor Areas	
352.2	
Dwelling A Roof Area Total	
Area	122.4
Dwelling B Roof Area Total	
Area	102.0

Energy Efficiency:
Dwelling and all its components to comply with NCC Part 13 and the Environmental Planning and Assessment Regulation 2000 (EP&A Regulation) and State Environment Planning Policy (Building Sustainability Index: BASIX) 2004 (the BASIX SEPP).

Artificial Lighting:
Provide artificial lighting to Sanitary Compartments to comply with NCC 10.5.2 & AS/NZS 1680.0

Roof & Cladding Notes:
• To comply as per NCC Part H1D7 (2) & (3)

Windows & Glazing:
• All windows to comply with NCC 8.4.3
• Safety Glass
• Glazing Visibility to comply with NCC 8.4.7

External Walls:
Plastic building membrane installed to any external wall (Where applicable), must comply with AS 4200 as required by NCC 10.6.1

Wet Areas:
To bathrooms floor & walls comply with NCC 10.2.1

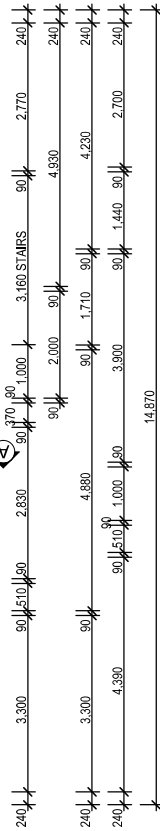
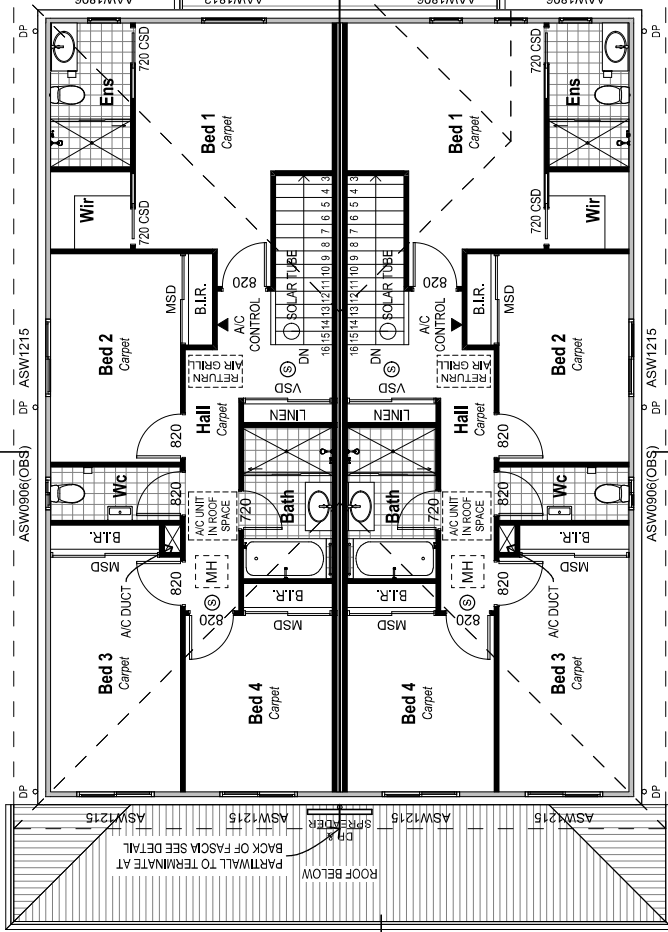
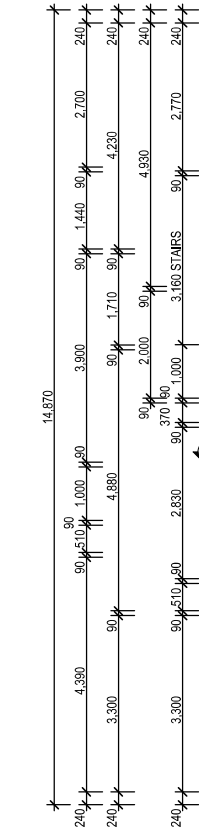
Ducted Air Conditioning
Final location & sizes of units, outlets and return air grille
To be determined by supplier / installer.
Roof truss strengthening and void in trusses required for AC system in roof space.

Fixing Legend
• Towel Rail • Toilet Roll • Towel Ring
□ ○

GAS TO HWS, Cooktop, BBQ & Heater Points
Garage insulation requirements differ from schedule as follows:
• Insulation to internal walls.
• No insulation to ceiling.
• No insulation to external walls.

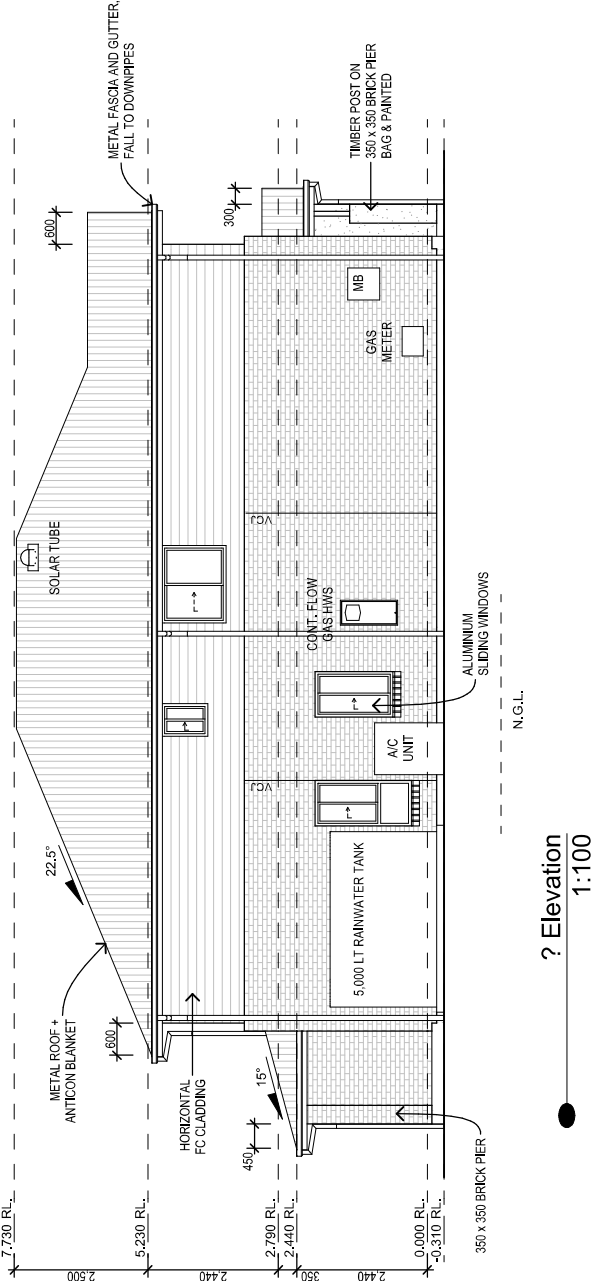
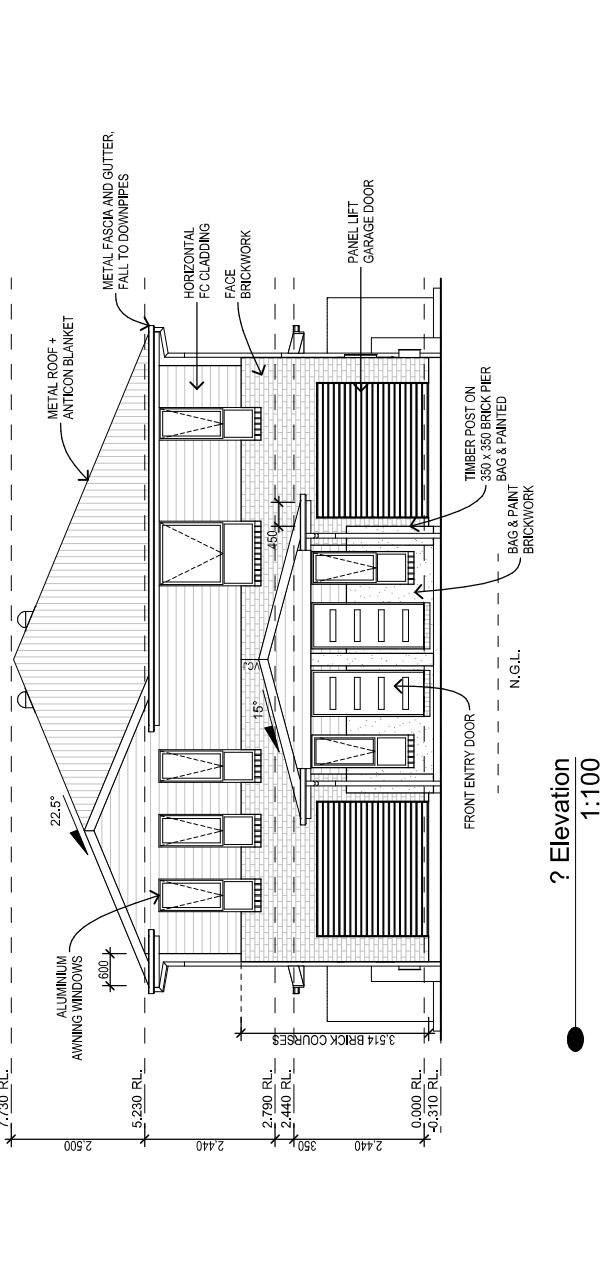
Notes:
• MWS = Microwave space
• 4 shelves to linen cupboard
• Staff at 1700 and rail to all built in robes
• Weather strips to all external doors
• Final Kitchen layout to manufacturer's specification.

GENERAL NOTES:
These drawings are to be read in conjunction with the relevant client brief and contract. The contract is to take precedence over these drawings in the event of any conflict. The drawings are to be used in the construction of the building and are not to be used for any other purpose. The drawings are the property of the architect and are not to be reproduced or used in any other form without the written consent of the architect. The architect is not responsible for any errors or omissions in the drawings or for any consequences arising from the use of the drawings. The drawings are to be used in the construction of the building and are not to be used for any other purpose. The drawings are the property of the architect and are not to be reproduced or used in any other form without the written consent of the architect. The architect is not responsible for any errors or omissions in the drawings or for any consequences arising from the use of the drawings.



First Floor Plan
1:100

Notes: • 450 Eave (unless noted otherwise) • Entry door style is indicative only, refer to the contract for finer details. • Minimum fall height masonry articulation (5.5m Max), CSS as per engineers specifications. • FC infill panels above all windows and doors (unless noted otherwise)	Windows & Glazing: • All windows to comply with NCC 8.4.8 • Safety Glass • Glazing Visibility to comply with NCC 8.4.7
	External Walls: Pliable building membrane installed to any external wall (Where applicable), must comply with AS 4200 as required by NCC 10.8.1
Roof & Cladding Notes: • To comply as per NCC Part H107 (2) & (3)	Energy Efficiency: Dwelling and all its components to comply with NCC Part 13 and the Environmental Planning and Assessment Regulation 2000 (EP&A Regulation) and State Environment Planning Policy (Building Sustainability Index: BASIX) 2004 (the BASIX SEPP)
FFL Note: FFL indicative only. Final height to be determined from slab (POD) depth detailed in engineering design.	

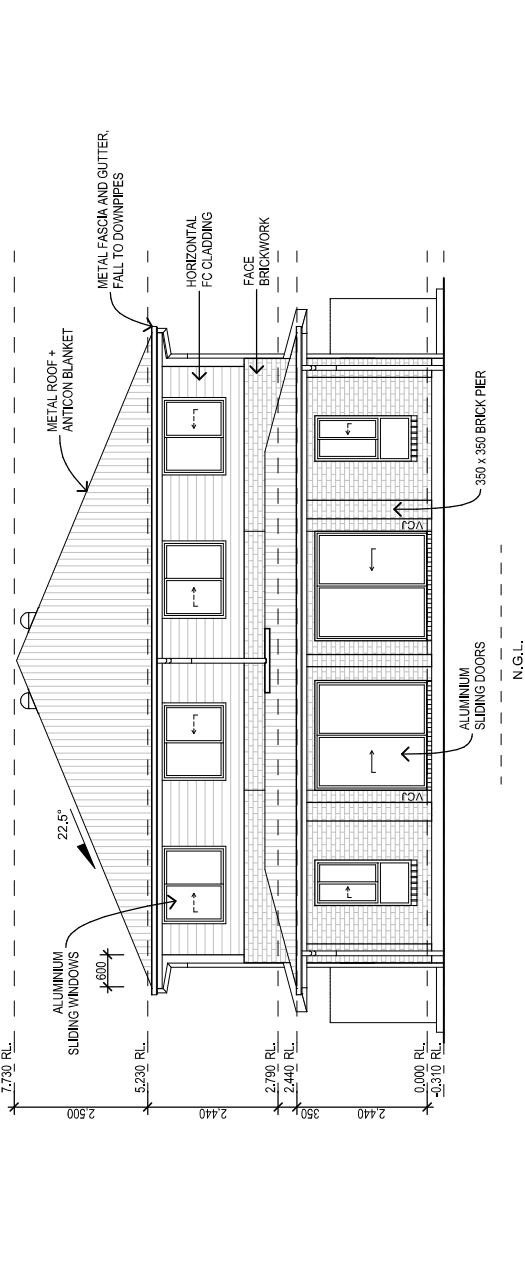


GENERAL NOTES:
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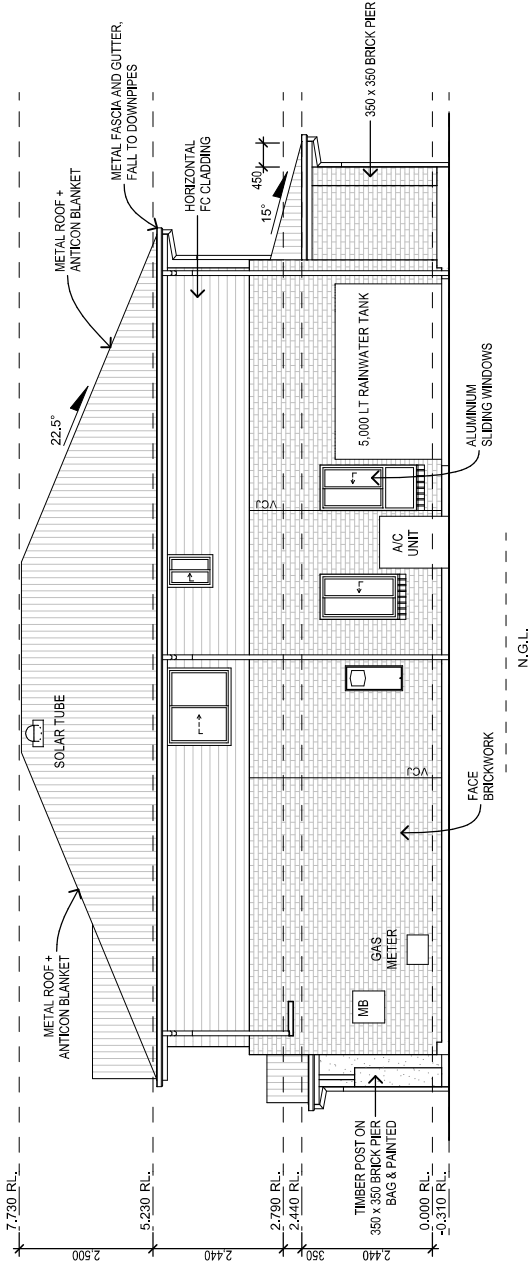
Issue	Date	Amendments	By
A	22/10/2024	MASTER PLANS	PWA

Client:	THOMAS PAUL CONSTRUCTIONS PTY LTD
Location:	Lot 000, Street Suburb, NSW 0000
Design:	Nymboida
Facade:	ENZO HAVEN
Plot Date:	6/02/2025
Scale:	1:100 @ A3
Printed by:	paulew
LGA:	???

Notes: • 450 Eave (unless noted otherwise) • Entry door style is indicative only, refer to the contract for finer details. • Provide full height masonry articulation (5.5m Max), CSS as per engineer's specifications. • FC infill panels above all windows and doors (unless noted otherwise)	Windows & Glazing: • All windows to comply with NCC 8.4.8 • Safety Glass • Glazing Visibility to comply with NCC 8.4.7
	External Walls: Pliable building membrane installed to any external wall (Where applicable), must comply with AS 4200 as required by NCC 10.8.1
	Roof & Cladding Notes: • To comply as per NCC Part H1D7 (2) & (3)
	Energy Efficiency: Dwelling and all its components to comply with NCC Part 13 and the Environmental Planning and Assessment Regulation 2000 (EP&A Regulation) and State Environment Planning Policy (Building Sustainability Index: BASIX) 2004 (the BASIX SEPP)
	FFL Note: FFL indicative only. Final height to be determined from slab (POD) depth detailed in engineering design.



? Elevation
1:100



? Elevation
1:100

GENERAL NOTES:
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Issue	Date	Master Plans	Amendments	By
A	22/10/2024	MASTER PLANS		PWA

Client:	THOMAS PAUL CONSTRUCTIONS PTY LTD	Location:	Lot 000, Street Suburb, NSW 0000
Design:	Nymboida	DP:	000000
Facade:	ENZO HAVEN	Scale:	1:100 @ A3
Plot Date:	6/02/2025	Printed by:	paulew
		LGA:	777

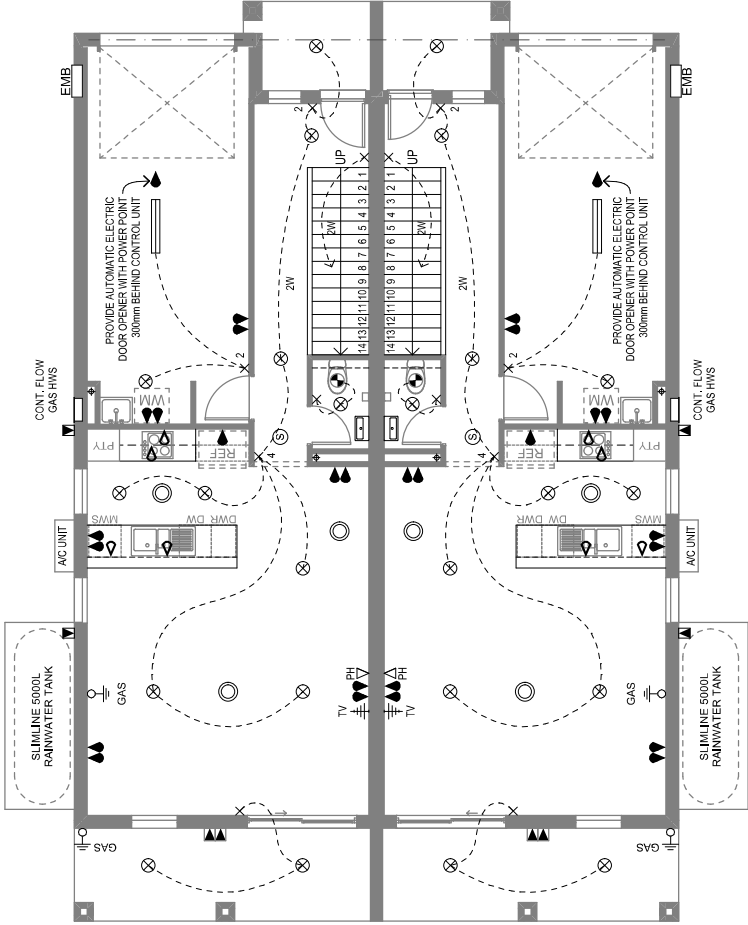
Project:	PROPOSED DUAL OCCUPANCY
Sheet #:	ELEVATIONS
Job No:	####
	5.1

ELECTRICAL LEGEND

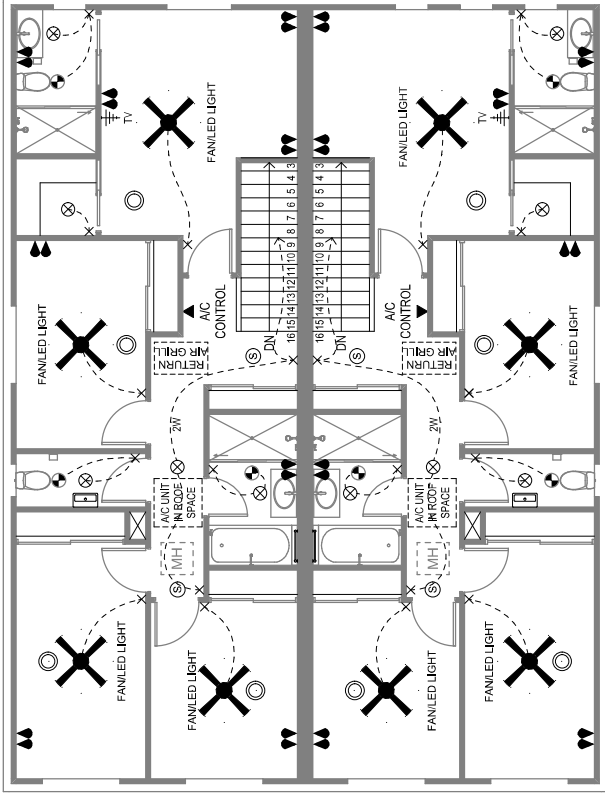
SYMBOL	DESCRIPTION
● ●	SINGLE & DOUBLE POWER POINT
○ ○	SINGLE & DOUBLE POWER POINT UNDER BENCH OR WITHIN CABINET
■	SINGLE POWER POINT W/PROOF
■	DOUBLE POWER POINT W/PROOF
X	SWITCH
X+	MULTI SWITCH
2W 3W	TWO WAY & THREE WAY SWITCH
○	CEILING LIGHT - BATTEN FIX
○	CEILING FLUORESCENT
○	32-36W CIRCULAR CEILING FLURO
⊗	RECESSED LED DOWNLIGHT
⊗	PENDANT LIGHT
⊗	SMOKE ALARM
TV	TV OUTLET
☎	TELEPHONE OUTLET
⊗	GAS POINT
⊗	EXHAUST FAN DUCTED TO EAVE
⊗	3 IN 1 LIGHT-HEAT-FAN UNIT
⊗	SKYLIGHT
⊗	SPA 15 AMP POWER POINT
⊗	MAIN SWITCHBOARD - SINGLE PHASE
⊗	CEILING FAN & LED LIGHT
⊗	CEILING FAN ONLY
⊗	DUCTED A/C CEILING OUTLETS

Smoke Alarms Approx. Position - Installed as per NCC 9.5.1 and comply with A.S.3786	Provide Ducted Air Conditioning Final location & sizes of units and outlets to be determined by supplier / installer. Roof truss strengthening and void in trusses required for A/C system in roof space.	Tel/Comms Provisions Provide conduit only with draw wire to accommodate fibre from street to dwelling connection point. Final location to be confirmed on site by installer. Phone connection is the responsibility of the owner to contact the telecommunications provider to have connections carried out when required.	Exhaust fans To comply with AS 3786. Installed as per NCC 10.8.2 All relevant mechanical ventilation systems are to be vented to the eaves. An exhaust system that is not run continuously and is serving a bathroom or sanitary compartment that is not ventilated in accordance with NCC 10.8.2(a) must be interlocked with the room's light switch	Exhaust fans to Kitchen & Bathrooms Bathrooms: Exhaust fan ducted externally to soffit with a minimum flow rate discharge of 25 L/s. Kitchen & Laundry: Exhaust fan ducted externally to soffit with a minimum flow rate discharge of 40 L/s.	Artificial Lighting: Provide artificial lighting to Sanitary Compartments to comply with NCC 10.5.2 & AS/NZS 1680.0
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GENERAL NOTES:
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Electrical Plan GF
1:100

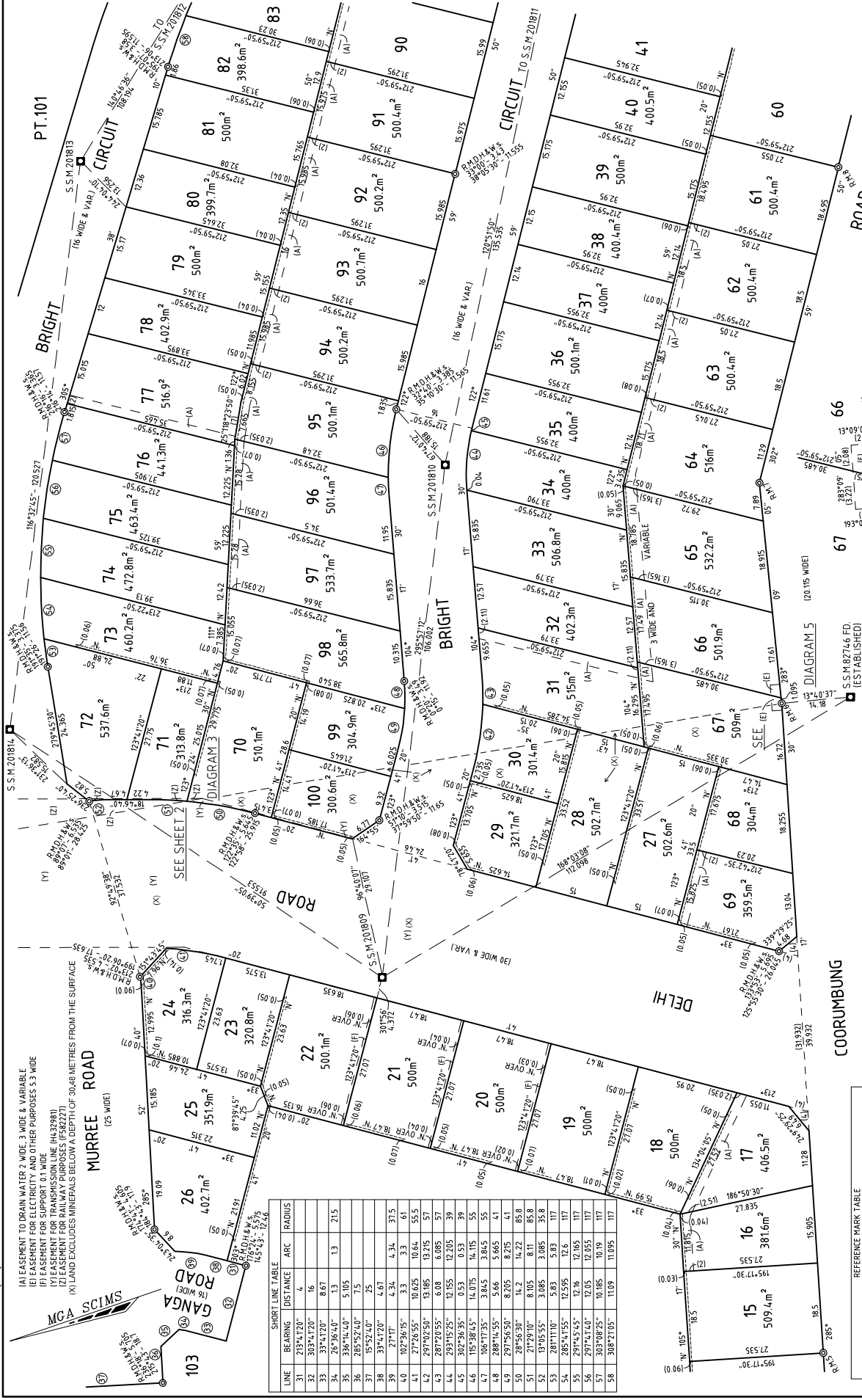


Electrical Plan FF
1:100

Issue	Date	Amendments	By
A	22/10/2024	MASTER PLANS	PWA

Client:	THOMAS PAUL CONSTRUCTIONS PTY LTD
Location:	Lot 000, Street Suburb, NSW 0000
Design:	Nymboida
Facade:	ENZO HAVEN
Plot Date:	6/02/2025
Scale:	1:100 @ A3
Printed by:	paubv
LGA:	777

Project:	PROPOSED DUAL OCCUPANCY
Job No:	#####
Sheet #:	7



REFERENCE MARK TABLE			
NUMBER	MARK	REFERENCE	ORIGIN
RMS	DLW.	1595-4.8	PLACED
RMS	GIPPOJUNG GONE	1887-35-144	DP1180679
RMS	SSM82746	1595-4.8	SURVEY
RMS	GIPPOJUNG GONE	2945-10-2355	DP1180679
RMS	DLW.	3605-50-18.16	PLACED
RMS	DLW.	3607-20-8345	PLACED
RMS	DLW.	3635-47-4.675	PLACED

'N' DENOTES NEW CONCRETE PANEL RETAINING WALL

DIAGRAM 5

SCALE 1:200

EASEMENT TO DRAIN WATER (A) IS 2 WIDE UNLESS NOTED OTHERWISE

Surveyor:
Date:
Surveyor's Ref: 8347 S1 20M (PARTIAL)

PLAN OF SUBDIVISION OF LOTS 1 AND 3 D.P.1180679
AND EASEMENTS OVER LOT 4 D.P.1180679

LGA: LAKE MACQUARIE
Locality: DORA CREEK
Subdivision No:
Lengths are in metres. Reduction Ratio 1:500

DP1299656